



738 WEST RANDOLPH STREET

TWO STORY RETAIL/RESTAURANT BUILDING FOR SALE

WEST LOOP

PROPERTY DETAILS

BUILDING SIZE

- ▶ Approximately 8,000 square feet over two floors

PRICE

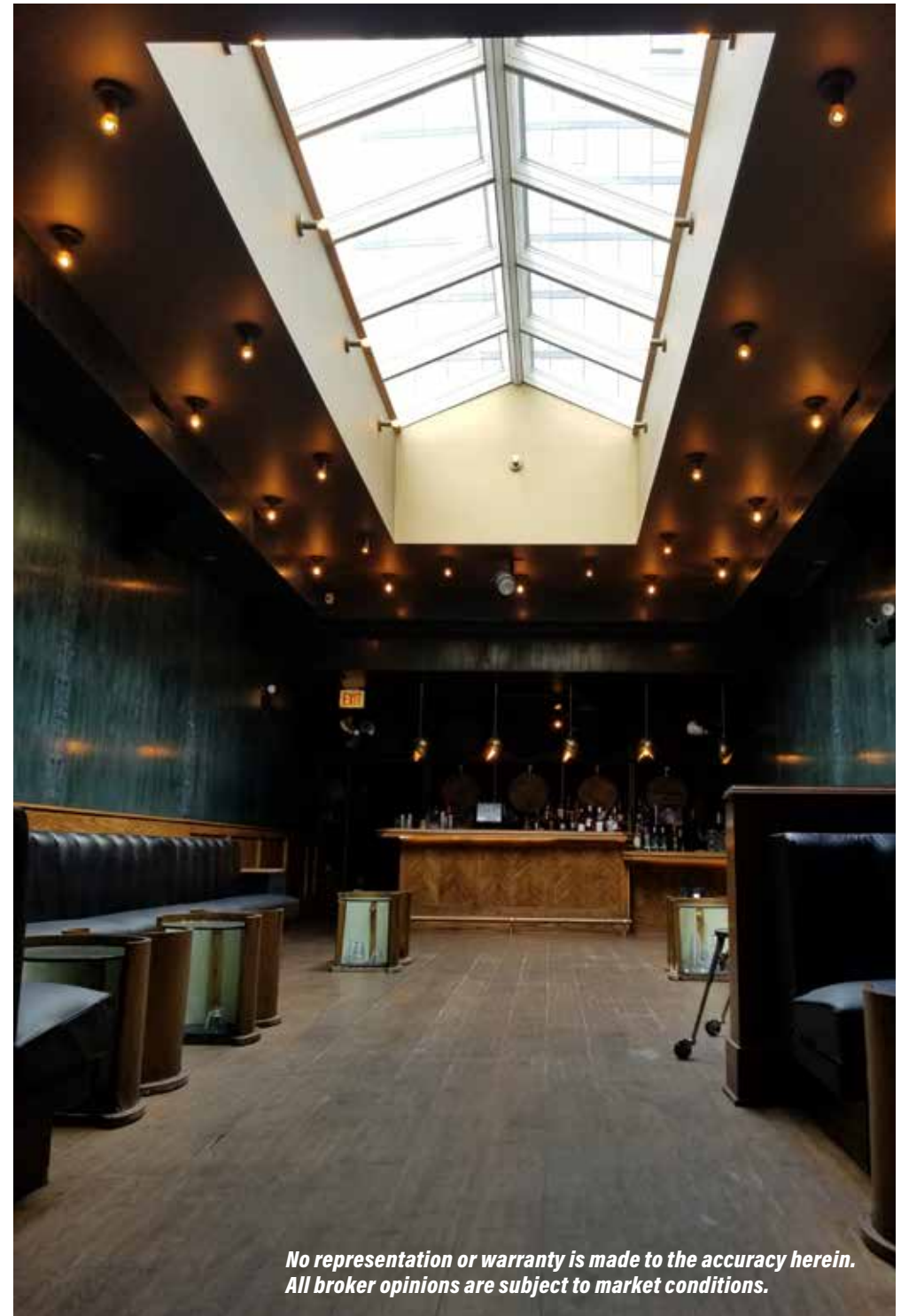
- ▶ Subject to offer

HIGHLIGHTS

- ▶ Rarely available two story building for sale in the heart of Chicago's vibrant West Loop!
- ▶ Great investment or owner-user property; currently occupied by restaurant tenant
- ▶ Located at the gateway of Randolph street, the premier street of the Meatpacking District and Chicago's Restaurant Row, this area draws customers from throughout the city and country
- ▶ The area is home to Chicago's most celebrated restaurants as well as the new McDonald's headquarters, Google, Soho house and Hoxton hotel
- ▶ Unprecedented development surrounds the area. The property is steps away from the Nobu hotel and directly across from the highly anticipated 58 story Equinox hotel, with many other hotels taking shape in the area
- ▶ Amazing exposure and visibility with the highest traffic counts in the Fulton/Randolph market
- ▶ Near major transit lines, expressways and Chicago Loop
- ▶ Demographics are ideal for any commercial retail (restaurant, office, showroom, etc.)
- ▶ 2021 Taxes: \$46,092.14
- ▶ Zoning: DX-5

DEMOGRAPHICS

	1 MI	3 MI
POPULATION	69,716	445,472
HOUSEHOLDS	39,762	226,164
AVERAGE AGE	34.5	36.2
MEDIAN HH INCOME	\$112,256	\$89,235
DAYTIME EMPLOYEES	407,196	848,688



*No representation or warranty is made to the accuracy herein.
All broker opinions are subject to market conditions.*

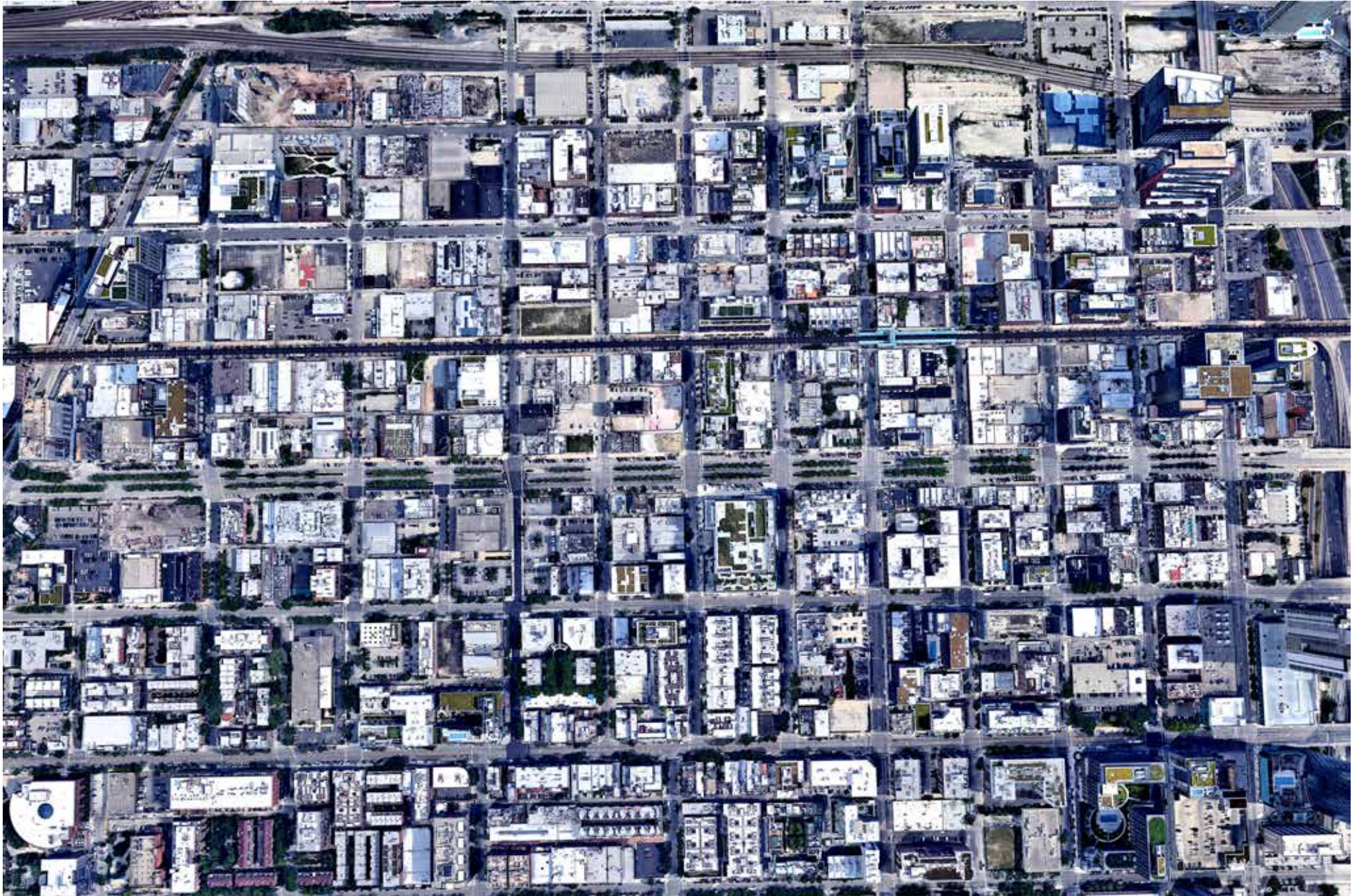
PROPERTY PHOTOS



PROPERTY PHOTOS



AREA MAP



FLOOR PLANS

COMMISSION ON CHICAGO LANDMARKS
APPROVED WITH CONDITIONS
DATE & CONDITIONS:
3/16/16 New
clad-wood
windows at front
elevation to
include brick
molding with
significant profile.
Brick and
limestone paint
colors to match
color of original,
historic brick and
limestone. Paint to
be vapor
permeable and
formulated for use
with masonry.
Paint samples and
photos of cleaned
historic brick to be
submitted to
Historic
Preservation staff
for review and
approval before
work commences.
Wall sconce light
fixtures at front
elevation to be
Urban Electric
UE-7906WR/Antique
Brass. Signage to
be approved
separately.

- GENERAL NOTES**
1. ALL WORK SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES.
 2. NO WORK SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
 3. ALL WORKSHIPS, METHODS, AND MATERIALS SHALL EXPLICITLY COMPLY WITH APPLICABLE INDUSTRY STANDARDS. ANY DEVIATION FROM SUCH STANDARDS MUST BE APPROVED BY OWNER AND ARCHITECT. THE AGENCY OF A DETAIL OR PARTICULAR METHOD OF CONSTRUCTION FROM THESE REQUIREMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF COMING UP WITH THESE STANDARDS.
 4. NO CHANGES ARE TO BE MADE OR THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND ARCHITECT.
 5. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 6. ALL WORK SHOWN HEREIN IS "NEW" EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING".
 7. CONTRACTOR TO PROVIDE A MINIMAL ALL LIGHT FIXTURES & SYSTEMS NECESSARY FOR A COMPLETE, FIRST-CLASS, INDUSTRY STANDARD RESTAURANT DEVELOPMENT.
 8. A.C. TO PROVIDE A COMPREHENSIVE REFINED SET OF "AS-BUILT" DRAWINGS OF ALL WORKS TO ARCHITECT & OWNER AT COMPLETION OF PROJECT.
 9. A.C. TO FIELD-VERIFY THE EXISTING SITE AND "TAKEN" SPACE PRIOR TO CONSTRUCTION FOR ANY OBSTRUCTIONS OR DEVIATIONS FROM THE CONDITIONS ASSUMED IN THESE DRAWINGS AND NOTIFY ARCHITECT & OWNER IMMEDIATELY OF ANY DISCREPANCIES.
 10. AS APPLICABLE HOOD FIRE PROTECTION IS DESIGN/PERMIT/BUILD BY CONTRACTOR.
 11. A.C. TO VERIFY ALL FOOD SERVICE EQUIPMENT, ADDITIONALLY, POINT-OF-SALE, BEVERAGE DELIVERY, & SECURITY SYSTEM REQUIREMENTS BY OWNER PRIOR TO CONSTRUCTION.
 12. A.C. TO VERIFY ALL EXISTING & PROPOSED FIXTURES TO COMPLY WITH THE HEALTH CODE REGULATIONS GOVERNING IN THE JURISDICTION.
 13. A.C. TO PROVIDE COMPLETE CLOSE-OUT DOCUMENT MANUAL TO OWNER INCLUDING WARRANTIES, OPERATING INSTRUCTIONS, CARE & MAINTENANCE REQUIREMENTS, ETC.
 14. FOOD SERVICE EQUIPMENT DESIGN IS BY OTHERS, THEREFORE, LEMLEY ARCHITECTURE + DESIGN LLC DOES NOT TAKE RESPONSIBILITY FOR HEALTH CODE COMPLIANCE.
 15. THE GENERAL CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF A BUILDING, AS REQUIRED DURING CONSTRUCTION & CONSTRUCTION TO PREVENT ANY DAMAGE TO NEIGHBORING TENANTS OR PROPERTIES AND PORTIONS OF THE EXISTING SITE TO REMAIN.
 16. FIRE PROTECTION & FIRE ALARM SYSTEM MODIFICATIONS ARE COMPREHENSIVELY PROVIDED BY CONTRACTOR. FIRE ALARM SHALL BE INSTALLED & TESTED AND COMPLY WITH LOCAL AGENCY 7-1005 CDP 700. ALL VITAL ALARMS SHALL BE SILENCED.
 17. A.C. SHALL UNDERTAKE ALL INDUSTRY STANDARD TESTING & PROCEEDINGS FOR THE PROTECTION AND REPAIR OF ANY SUSPECT WORK OR ANY UNDISCOVERED IN THE COURSE OF THE PROJECT.
 18. A.C. SHALL CONDUCT A THOROUGH REVIEW OF ALL LANDLORD RULES & REGULATIONS AND CONDUCT A PRE-CONSTRUCTION MEETING WITH LANDLORD'S REPRESENTATIVE PRIOR TO WORK START.

PROJECT OWNER:
NUJW, LLC
126 N. Ada Street
Chicago, Illinois 60642

PROJECT TITLE:
Ronero
733 West Randolph Street
Chicago, Illinois 60661

ARCHITECT:
Lemley Architecture + Design LLC
1770 West Berteau Avenue #1000
Chicago, Illinois 60613

INTERIOR DESIGNER:
Boone Interiors
2076 N. Kenne Avenue
Chicago, Illinois 60647

MEP ENGINEER:
Stan Maass, P.E.
17 525th Street NE
Rochester, Minnesota 55901

STRUCTURAL ENGINEER:
K.ENG Structural Consulting
1147 J. Washington Blvd. Unit 26
Chicago, Illinois 60637

ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTION AND THAT TO THE BEST OF MY KNOWLEDGE THEY COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN THE CITY OF CHICAGO.

ACCESSIBILITY NOTES

FOR THE PURPOSE OF THE CHICAGO BUILDING CODE, THE FOLLOWING SHALL APPLY:

1. ALL NEWLY CONSTRUCTED BUILDINGS SHALL BE ACCESSIBLE TO ALL PEOPLE, INCLUDING THOSE WITH PHYSICAL, COGNITIVE, AND SENSORY DISABILITIES.
2. THE DESIGN AND CONSTRUCTION OF NEW BUILDINGS SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, WHICH ENFORCE THE AMERICAN WITH DISABILITIES ACT (ADA) AND THE CHICAGO BUILDING CODE.
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ARCHITECTURAL CONVENTIONS

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[Symbol]	NEW SIGNAGE
[Symbol]	EXISTING FURNITURE
[Symbol]	NEW FURNITURE
[Symbol]	EXISTING LIGHTING
[Symbol]	NEW LIGHTING
[Symbol]	EXISTING SOUNDING
[Symbol]	NEW SOUNDING
[Symbol]	EXISTING VENTILATION
[Symbol]	NEW VENTILATION
[Symbol]	EXISTING CLIMATE CONTROL
[Symbol]	NEW CLIMATE CONTROL
[Symbol]	EXISTING INFRASTRUCTURE
[Symbol]	NEW INFRASTRUCTURE
[Symbol]	EXISTING UTILITIES
[Symbol]	NEW UTILITIES
[Symbol]	EXISTING MECHANICAL
[Symbol]	NEW MECHANICAL
[Symbol]	EXISTING ELECTRICAL
[Symbol]	NEW ELECTRICAL
[Symbol]	EXISTING PLUMBING
[Symbol]	NEW PLUMBING
[Symbol]	EXISTING FIRE PROTECTION
[Symbol]	NEW FIRE PROTECTION
[Symbol]	EXISTING SECURITY
[Symbol]	NEW SECURITY
[Symbol]	EXISTING SIGNAGE
[Symbol]	NEW SIGNAGE
[Symbol]	EXISTING FURNITURE
[Symbol]	NEW FURNITURE
[Symbol]	EXISTING LIGHTING
[Symbol]	NEW LIGHTING
[Symbol]	EXISTING SOUNDING
[Symbol]	NEW SOUNDING
[Symbol]	EXISTING VENTILATION
[Symbol]	NEW VENTILATION
[Symbol]	EXISTING CLIMATE CONTROL
[Symbol]	NEW CLIMATE CONTROL
[Symbol]	EXISTING INFRASTRUCTURE
[Symbol]	NEW INFRASTRUCTURE
[Symbol]	EXISTING UTILITIES
[Symbol]	NEW UTILITIES
[Symbol]	EXISTING MECHANICAL
[Symbol]	NEW MECHANICAL
[Symbol]	EXISTING ELECTRICAL
[Symbol]	NEW ELECTRICAL
[Symbol]	EXISTING PLUMBING
[Symbol]	NEW PLUMBING
[Symbol]	EXISTING FIRE PROTECTION
[Symbol]	NEW FIRE PROTECTION
[Symbol]	EXISTING SECURITY
[Symbol]	NEW SECURITY
[Symbol]	EXISTING SIGNAGE
[Symbol]	NEW SIGNAGE
[Symbol]	EXISTING FURNITURE
[Symbol]	NEW FURNITURE
[Symbol]	EXISTING LIGHTING
[Symbol]	NEW LIGHTING
[Symbol]	EXISTING SOUNDING
[Symbol]	NEW SOUNDING
[Symbol]	EXISTING VENTILATION
[Symbol]	NEW VENTILATION
[Symbol]	EXISTING CLIMATE CONTROL
[Symbol]	NEW CLIMATE CONTROL
[Symbol]	EXISTING INFRASTRUCTURE
[Symbol]	NEW INFRASTRUCTURE
[Symbol]	EXISTING UTILITIES
[Symbol]	NEW UTILITIES
[Symbol]	EXISTING MECHANICAL
[Symbol]	NEW MECHANICAL
[Symbol]	EXISTING ELECTR

FLOOR PLANS

[illegible]

FLOOR PLANS

F.F.E. GENERAL NOTES

[illegible][illegible]

SEATING COUNT SUMMARY

SEATING COUNT		ACCESSIBLE SEATING COUNT	
BLIND	24	24	2
DEAF	1	24	2
DEAF/BLIND	4	24	2
DEAF/HEARD	46	24	2
DEAF/SEE	47	24	2
TOTAL	226	DEAF/BLIND SEATING	34

DEPARTMENT OF BUILDINGS
STANDARD PLAN REVIEW
**CONDITIONAL
PERMIT**
Construction subject to full
compliance with the Municipal Code of
Chicago and field inspection
Building
Commissioner

By C. J. [Signature]
**CERTIFIED
CORRECTIONS**

FIXTURES & FURNISHINGS SCHEDULE

[illegible]

P.O.S./PRINTER & DATA CONDUIT NOTES

[illegible]

COMMISSION ON
CHICAGO LANDMARKS
Permit Reviewer: KH
APPROVED WITH
CONDITIONS

Notes: Any changes made to the application after the approved date (see cover sheet) must be resubmitted to the COMPTON review office.

WE, THE FOLLOING, PREPARED FOR:
 KEY ARCHITECTURE + DESIGN LLC
 426 N. ADA STREET, CHICAGO, IL 60642

RONERO

FILE NAME	0803-16-109
NAME EN	
ADDRESS	
TRAINING FILE	AS 0000
TRAINING SCALE	AS 0000
DATE ISSUED	

PROFESSIONAL SEAL:

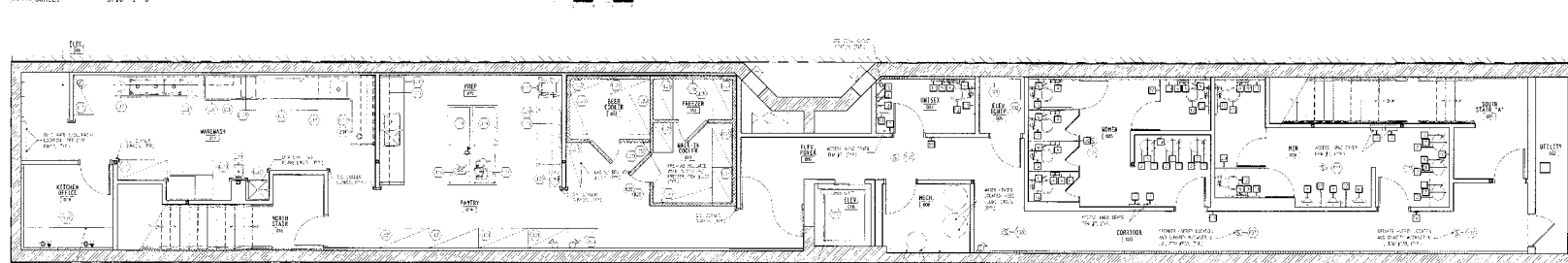
LICENSED ARCHITECT

STEPHEN J. LENKEY
061-021685

STATE OF ILLINOIS

SHEET NUMBER:
A4.1 OF 33

A4.102 FIXTURES, FURNISHINGS & EQUIPMENT PLAN - GROUND LEVEL



 A4.101 FIXTURES, FURNISHINGS & EQUIPMENT PLAN - LOWER LEVEL
SCALE: 3/16"=1'-0"

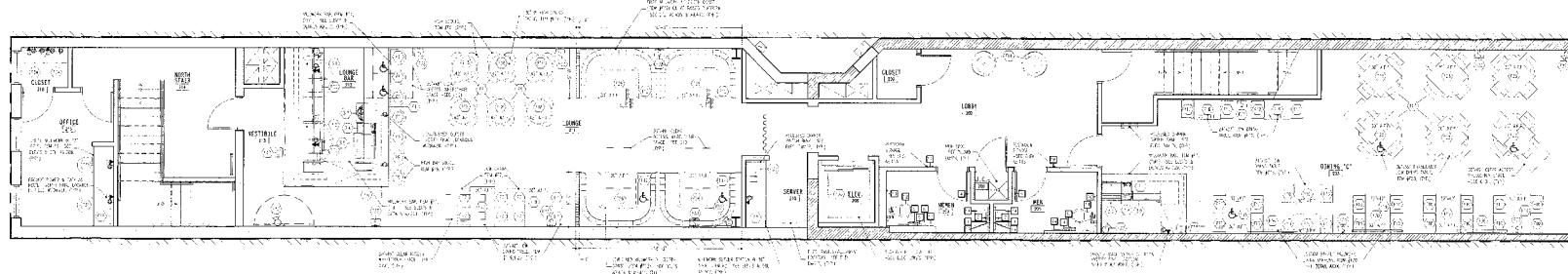
FLOOR PLANS

EQUIPMENT SCHEDULE

(SEE SHEET FOR THE EQUIPMENT SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS)

ITEM NO.	ROOM NUMBER	DESCRIPTION	MANUF.	MODEL NO.	VOLTS/PHASE/AMP	FURNISHED BY	REMARKS	ITEM NO.	ROOM NUMBER	DESCRIPTION	MANUF.	MODEL NO.	VOLTS/PHASE/AMP	FURNISHED BY	REMARKS
1	101	WALL MOUNTED	101	101	101	101	101	1	101	WALL MOUNTED	101	101	101	101	101
2	102	WALL MOUNTED	102	102	102	102	102	2	102	WALL MOUNTED	102	102	102	102	102
3	103	WALL MOUNTED	103	103	103	103	103	3	103	WALL MOUNTED	103	103	103	103	103
4	104	WALL MOUNTED	104	104	104	104	104	4	104	WALL MOUNTED	104	104	104	104	104
5	105	WALL MOUNTED	105	105	105	105	105	5	105	WALL MOUNTED	105	105	105	105	105
6	106	WALL MOUNTED	106	106	106	106	106	6	106	WALL MOUNTED	106	106	106	106	106
7	107	WALL MOUNTED	107	107	107	107	107	7	107	WALL MOUNTED	107	107	107	107	107
8	108	WALL MOUNTED	108	108	108	108	108	8	108	WALL MOUNTED	108	108	108	108	108
9	109	WALL MOUNTED	109	109	109	109	109	9	109	WALL MOUNTED	109	109	109	109	109
10	110	WALL MOUNTED	110	110	110	110	110	10	110	WALL MOUNTED	110	110	110	110	110
11	111	WALL MOUNTED	111	111	111	111	111	11	111	WALL MOUNTED	111	111	111	111	111
12	112	WALL MOUNTED	112	112	112	112	112	12	112	WALL MOUNTED	112	112	112	112	112
13	113	WALL MOUNTED	113	113	113	113	113	13	113	WALL MOUNTED	113	113	113	113	113
14	114	WALL MOUNTED	114	114	114	114	114	14	114	WALL MOUNTED	114	114	114	114	114
15	115	WALL MOUNTED	115	115	115	115	115	15	115	WALL MOUNTED	115	115	115	115	115
16	116	WALL MOUNTED	116	116	116	116	116	16	116	WALL MOUNTED	116	116	116	116	116
17	117	WALL MOUNTED	117	117	117	117	117	17	117	WALL MOUNTED	117	117	117	117	117
18	118	WALL MOUNTED	118	118	118	118	118	18	118	WALL MOUNTED	118	118	118	118	118
19	119	WALL MOUNTED	119	119	119	119	119	19	119	WALL MOUNTED	119	119	119	119	119
20	120	WALL MOUNTED	120	120	120	120	120	20	120	WALL MOUNTED	120	120	120	120	120
21	121	WALL MOUNTED	121	121	121	121	121	21	121	WALL MOUNTED	121	121	121	121	121
22	122	WALL MOUNTED	122	122	122	122	122	22	122	WALL MOUNTED	122	122	122	122	122
23	123	WALL MOUNTED	123	123	123	123	123	23	123	WALL MOUNTED	123	123	123	123	123
24	124	WALL MOUNTED	124	124	124	124	124	24	124	WALL MOUNTED	124	124	124	124	124
25	125	WALL MOUNTED	125	125	125	125	125	25	125	WALL MOUNTED	125	125	125	125	125
26	126	WALL MOUNTED	126	126	126	126	126	26	126	WALL MOUNTED	126	126	126	126	126
27	127	WALL MOUNTED	127	127	127	127	127	27	127	WALL MOUNTED	127	127	127	127	127
28	128	WALL MOUNTED	128	128	128	128	128	28	128	WALL MOUNTED	128	128	128	128	128
29	129	WALL MOUNTED	129	129	129	129	129	29	129	WALL MOUNTED	129	129	129	129	129
30	130	WALL MOUNTED	130	130	130	130	130	30	130	WALL MOUNTED	130	130	130	130	130
31	131	WALL MOUNTED	131	131	131	131	131	31	131	WALL MOUNTED	131	131	131	131	131
32	132	WALL MOUNTED	132	132	132	132	132	32	132	WALL MOUNTED	132	132	132	132	132
33	133	WALL MOUNTED	133	133	133	133	133	33	133	WALL MOUNTED	133	133	133	133	133
34	134	WALL MOUNTED	134	134	134	134	134	34	134	WALL MOUNTED	134	134	134	134	134
35	135	WALL MOUNTED	135	135	135	135	135	35	135	WALL MOUNTED	135	135	135	135	135
36	136	WALL MOUNTED	136	136	136	136	136	36	136	WALL MOUNTED	136	136	136	136	136
37	137	WALL MOUNTED	137	137	137	137	137	37	137	WALL MOUNTED	137	137	137	137	137
38	138	WALL MOUNTED	138	138	138	138	138	38	138	WALL MOUNTED	138	138	138	138	138
39	139	WALL MOUNTED	139	139	139	139	139	39	139	WALL MOUNTED	139	139	139	139	139
40	140	WALL MOUNTED	140	140	140	140	140	40	140	WALL MOUNTED	140	140	140	140	140
41	141	WALL MOUNTED	141	141	141	141	141	41	141	WALL MOUNTED	141	141	141	141	141
42	142	WALL MOUNTED	142	142	142	142	142	42	142	WALL MOUNTED	142	142	142	142	142
43	143	WALL MOUNTED	143	143	143	143	143	43	143	WALL MOUNTED	143	143	143	143	143
44	144	WALL MOUNTED	144	144	144	144	144	44	144	WALL MOUNTED	144	144	144	144	144
45	145	WALL MOUNTED	145	145	145	145	145	45	145	WALL MOUNTED	145	145	145	145	145
46	146	WALL MOUNTED	146	146	146	146	146	46	146	WALL MOUNTED	146	146	146	146	146
47	147	WALL MOUNTED	147	147	147	147	147	47	147	WALL MOUNTED	147	147	147	147	147
48	148	WALL MOUNTED	148	148	148	148	148	48	148	WALL MOUNTED	148	148	148	148	148
49	149	WALL MOUNTED	149	149	149	149	149	49	149	WALL MOUNTED	149	149	149	149	149
50	150	WALL MOUNTED	150	150	150	150	150	50	150	WALL MOUNTED	150	150	150	150	150
51	151	WALL MOUNTED	151	151	151	151	151	51	151	WALL MOUNTED	151	151	151	151	151
52	152	WALL MOUNTED	152	152	152	152	152	52	152	WALL MOUNTED	152	152	152	152	152
53	153	WALL MOUNTED	153	153	153	153	153	53	153	WALL MOUNTED	153	153	153	153	153
54	154	WALL MOUNTED	154	154	154	154	154	54	154	WALL MOUNTED	154	154	154	154	154
55	155	WALL MOUNTED	155	155	155	155	155	55	155	WALL MOUNTED	155	155	155	155	155
56	156	WALL MOUNTED	156	156	156	156	156	56	156	WALL MOUNTED	156	156	156	156	156
57	157	WALL MOUNTED	157	157	157	157	157	57	157	WALL MOUNTED	157	157	157	157	157
58	158	WALL MOUNTED	158	158	158	158	158	58	158	WALL MOUNTED	158	158	158	158	158
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60	160	WALL MOUNTED	160	160	160	160	160	60	160	WALL MOUNTED	160	160	160	160	160
61	161	WALL MOUNTED	161	161	161	161	161	61	161	WALL MOUNTED	161	161	161	161	161
62	162	WALL MOUNTED	162	162	162	162	162	62	162	WALL MOUNTED	162	162	162	162	162
63	163	WALL MOUNTED	163	163	163	163	163	63	163	WALL MOUNTED	163	163	163	163	163
64	164	WALL MOUNTED	164	164	164	164	164	64	164	WALL MOUNTED	164	164	164	164	164
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66	166	WALL MOUNTED	166	166	166	166	166	66	166	WALL MOUNTED	166	166	166	166	166
67	167	WALL MOUNTED	167	167	167	167	167	67	167	WALL MOUNTED	167	167	167	167	167
68	168	WALL MOUNTED	168	168	168	168	168	68	168	WALL MOUNTED	168	168	168	168	168
69	169	WALL MOUNTED	169	169	169	169	169	69	169	WALL MOUNTED	169	169	169	169	169
70	170	WALL MOUNTED	170	170	170	170	170	70	170	WALL MOUNTED	170	170	170	170	170
71	171	WALL MOUNTED	171	171	171	171	171	71	171	WALL MOUNTED	171	171	171	171	171
72	172	WALL MOUNTED	172	172	172	172	172	72	172	WALL MOUNTED	172	172	172	172	172
73	173	WALL MOUNTED	173	173	173	173	173	73	173	WALL MOUNTED	173	173	173	173	173
74	174	WALL MOUNTED	174	174	174	174	174	74	174	WALL MOUNTED	174	174	174	174	174
75	175	WALL MOUNTED	175	175	175	175	175	75	175	WALL MOUNTED	175	175	175	175	175
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83	183	WALL MOUNTED	183	183	183	183	183	83	183	WALL MOUNTED	183	183	183	183	183
84	184	WALL MOUNTED	184	184	184	184	184	84	184	WALL MOUNTED	184	184	184	184	184
85	185	WALL MOUNTED	185	185	185	185	185	85	185	WALL MOUNTED	185	185	185	185	185
86	186	WALL MOUNTED	186	186	186	186	186	86	186	WALL MOUNTED	186	186	186	186	186
87	187	WALL MOUNTED	187	187	187	187	187	87	187	WALL MOUNTED	187	187	187	187	187
88	188	WALL MOUNTED	188	188	188	188	188	88	188	WALL MOUNTED	188	188	188	188	188
89	189	WALL MOUNTED	189	189	189	189	189	89	189	WALL MOUNTED	189	189	189	189	189
90	190	WALL MOUNTED	190	190	190	190									

**COMMISSION ON
CHICAGO LANDMARKS**
Permit Reviewer: KH
**APPROVED WITH
CONDITIONS**
See cover sheet
for conditions



A4.201 FIXTURES, FURNISHINGS & EQUIPMENT PLAN - SECOND FLOOR

DEPARTMENT OF BUILDINGS
STANDARD PLAN REVIEW
**CONDITIONAL
PERMIT**
Construction subject to full
compliance with International Code or
Chicago and field inspection
Building
Commissioner
By John J. [Signature]
**CERTIFIED
CORRECTIONS**

[illegible]

PROPOSED RESTAURANT RENOVATION FOR:
RONERO
8 WEST RANDOLPH STREET, CHICAGO IL 60661

PROJECT NUMBER	1059	FIELD-44106	
1-2 NAME	W		
3-4 NAME		AS SHOWN	AS SHOWN
APPROVAL		ENGINE TITLE	ENGINE SCALE
			DRAWN (SCALE)

PROFESSIONAL SEAL:

SHEET NUMBER:

A4.2 OF 33

738 WEST RANDOLPH CHICAGO, IL 60607

EXCLUSIVE AGENTS

JOE GLORIA

847.638.0828

Joseph@CREAdvising.com

STEVE HORVATH

312.448.6401

Steve@CREAdvising.com

CRE ADVISING

401 WEST ONTARIO STREET, SUITE 205
CHICAGO, IL 60654

312.448.6401 www.CREAdvising.com

