



OFFERING MEMORANDUM

LAKE & LAFLIN PORTFOLIO

220 N LAFLIN | 1438-40 W LAKE | 1444 W LAKE

CHICAGO, ILLINOIS 60607

CRE ADVISING

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**EXCLUSIVE
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CRE Advising have been retained as the exclusive agents for the three property portfolio sale of 220 N Laflin, 1438-40 W Lake, 1444 W Lake in Chicago, Illinois (the "Property"), by the owner ("Seller").

The enclosed materials include highly confidential information and are being furnished solely to facilitate the prospective purchaser's own due diligence for which it shall be fully and solely responsible. The use of this Offering Memorandum and the information provided herein is subject to the terms, provisions and limitations of the confidentiality agreement furnished by CRE Advising and prior to delivery of this Offering Memorandum. The material contained herein is based on information and sources deemed to be reliable, but no representation or warranty, express or implied, is being made by CRE Advising, or Seller or any of their respective representatives, affiliates, officers, employees, shareholders, partners and directors, as to the accuracy or completeness of the information contained herein.

The Property is being offered for sale in an "as-is, where-is" condition and Seller, CRE Advising make no representations or warranties as to the accuracy of the information contained in this Offering Memorandum.

By taking possession of and reviewing the information contained herein, the recipient agrees that (a) the enclosed materials and their contents are of a highly confidential nature and will be held and treated in the strictest confidence and shall be returned to CRE Advising and or Seller promptly upon request; and (b) the recipient shall not contact employees or tenants of the Property directly or indirectly regarding any aspect of the enclosed materials or the Property without the prior written approval of the Seller or CRE Advising.





Highlights

- » Flex/industrial building
- » Great investment opportunity for sale
- » Sale Price: Subject to Offer
- » Building Size: Approximately 7,906 SF
- » Lot Size: Approximately 7,944 SF
- » Zoning: PMD-4B
- » 2023 Taxes: \$57,441
- » Warehouse/Barrel-Truss Roof:
 - » 7.5 years into 20-year warranty
 - » Trusses reinforced with new tie rods
- » Front office Roof:
 - » 6 years into 10-year warranty
- » Newly constructed front office with high bay ceilings, skylight, drive-in door, exterior lighting, split-system air conditioner and new restroom
- » Warehouse is fully sandblasted and air conditioned with two new 7.5 ton RTU's plus a triple-catch basin and new restroom
- » Building has had extensive tenant build-out on top of base building



Tenant Information

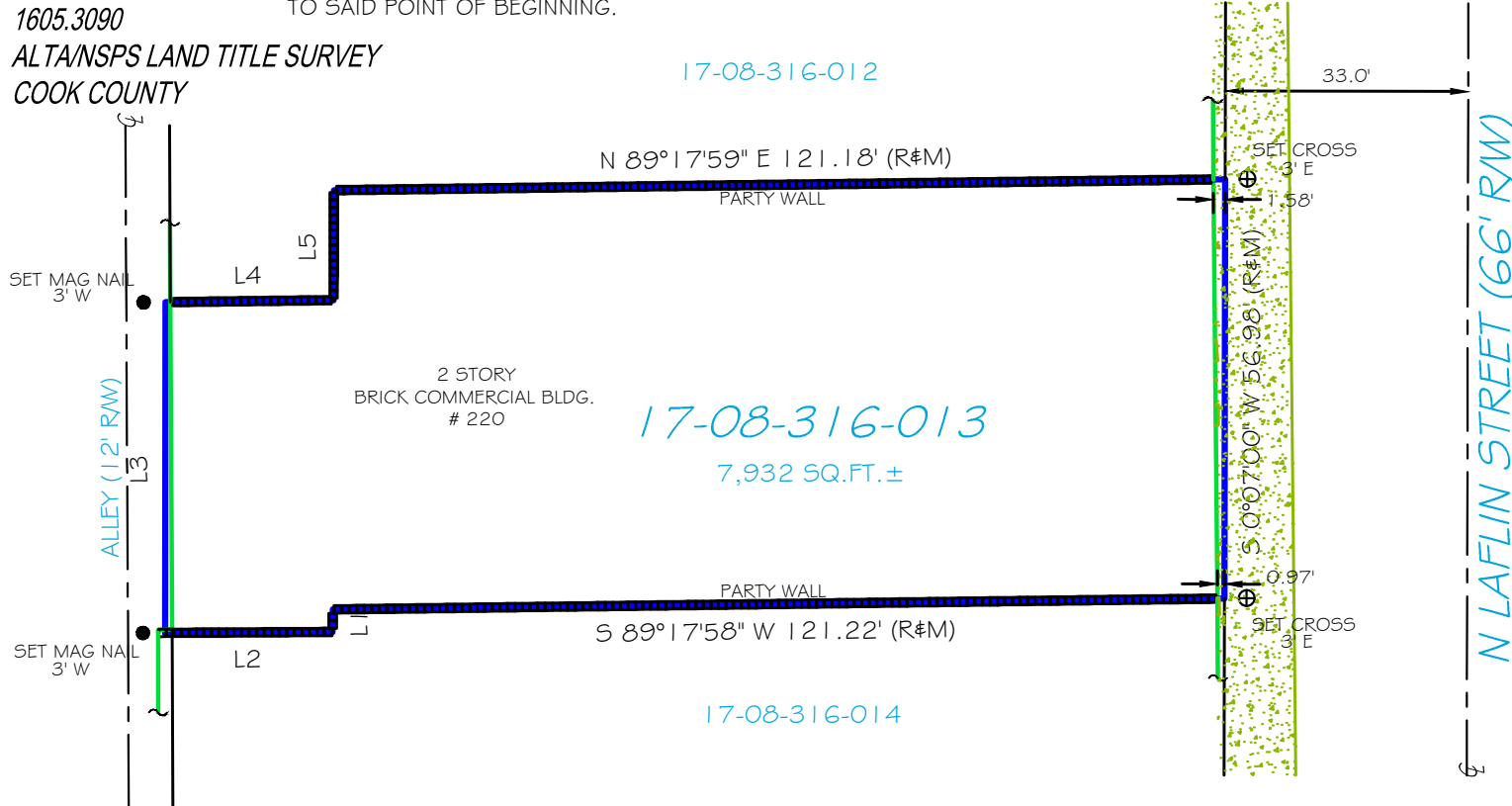
Building is fully leased to national tenant Braun Intertec Corporation, a leading Minneapolis based, employee-owned engineering consulting firm specializing in geotechnical engineering, environmental consulting, and testing. The company has grown to over 1,000 employee-owners and has 35 offices in seven different states.

The company serves over 12 different markets providing a variety of services including drilling, geospatial operations, building sciences and has been named one of ENR's Top 500 Design Firms the past five years in a row and an ENR Top 200 Environmental Firm in 2022 and 2023

Link to tenant website: <https://www.braunintertec.com/>



THAT PART OF LOTS 23, 24, 25, 26, 27, 28, 29 AND 30, AND THE VACATED EAST AND WEST ALLEY LYING SOUTH OF AND ADJOINING SAID LOTS 24 TO 30, BOTH INCLUSIVE, AND LYING NORTH OF AND ADJOINING SAID LOT 23, ALL IN BLOCK 11 IN UNION PARK SECOND ADDITION TO CHICAGO IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 30; THENCE SOUTH 00 DEGREES 05 MINUTES 25 SECONDS WEST 57.99 FEET ALONG THE EAST RIGHT OF WAY LINE OF LAFLIN STREET FOR A POINT OF BEGINNING; THENCE CONTINUING SOUTH 00 DEGREES 05 MINUTES 25 SECONDS WEST 56.98 FEET ALONG SAID RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 55 MINUTES 00 SECONDS WEST 121.22 FEET ALONG THE CENTERLINE OF A COMMON WALL; THENCE SOUTH 00 DEGREES 12 MINUTES 34 SECONDS WEST 3.06 FEET ALONG SAID CENTERLINE; THENCE NORTH 89 DEGREES 53 MINUTES 44 SECONDS WEST 22.77 FEET ALONG SAID CENTERLINE AND SAID LINE EXTENDED WEST TO THE WEST LINE OF SAID LOT 23; THENCE NORTH 00 DEGREES 05 MINUTES 25 SECONDS WEST 44.93 FEET ALONG THE WEST LINE OF LOTS 23, 24 AND THE VACATED ALLEY; THENCE NORTH 89 DEGREES 39 MINUTES 44 SECONDS EAST 22.84 FEET ALONG THE CENTERLINE OF A COMMON WALL EXTENDED WEST; THENCE NORTH 00 DEGREES 00 MINUTES 15 SECONDS WEST 14.94 FEET ALONG SAID CENTERLINE; THENCE NORTH 89 DEGREES 54 MINUTES 59 SECONDS EAST 121.18 FEET ALONG SAID CENTERLINE TO SAID POINT OF BEGINNING.





Highlights

- » Flex/industrial/loft-office building
- » Great investment opportunity for sale
- » Sale Price: Subject to Offer
- » Building Size: Approximately 8,000 SF
- » Lot Size: Approximately 6,250 SF
- » Zoning: PMD-4B
- » 2023 Taxes: \$53,030
- » Large first floor warehouse space with additional second floor office space
- » Lower West Roof:
 - » 7 years into 10-year warranty
- » Upper East Roof:
 - » 7 years into 15-year warranty
- » Building boasts tall ceilings, tons of natural light, and three overhead drive-in doors
- » Basement has had small concrete reinforcement
- » New North side masonry wall and new exterior lighting off Lake Street



Tenant Information

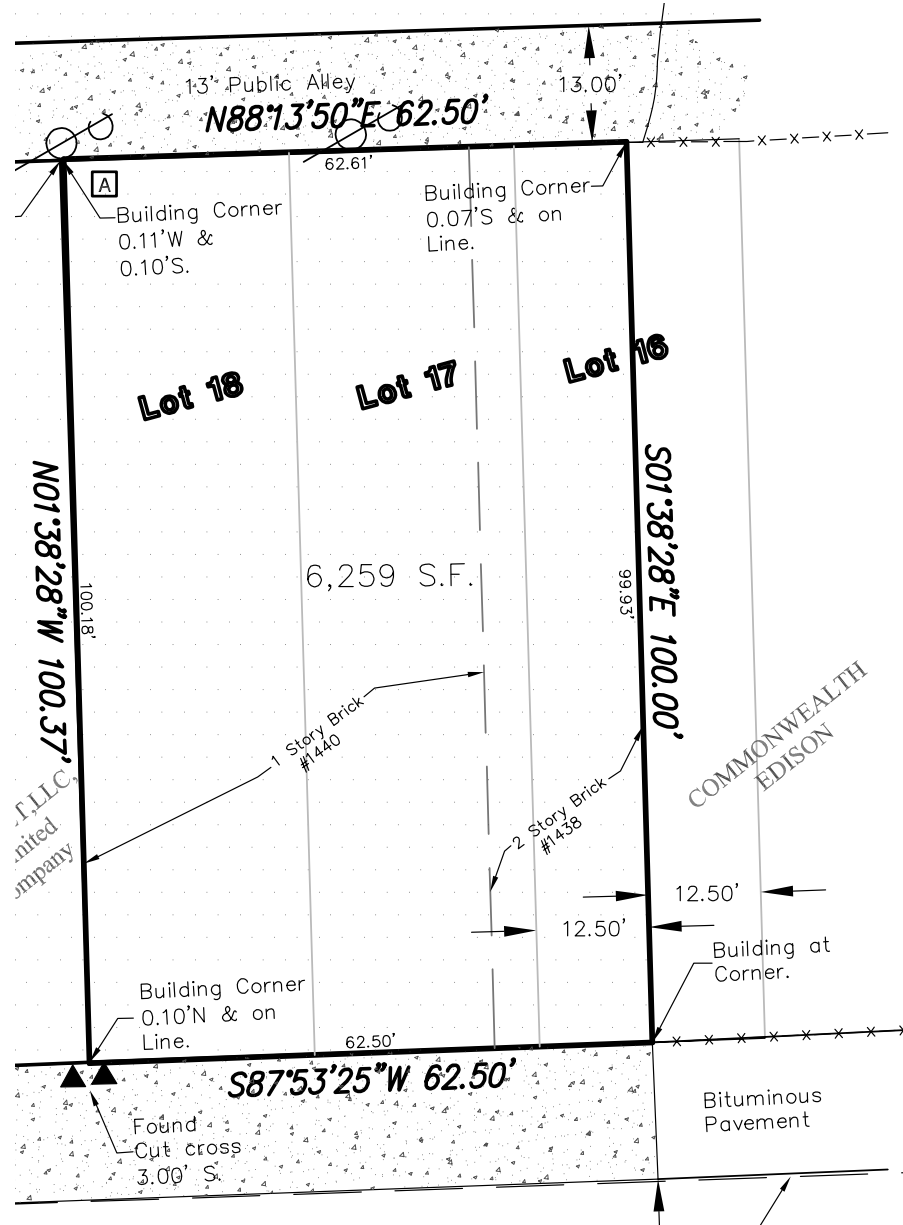
Building is fully leased to ABM Janitorial, a division of ABM Industries, a New York-based global facility solutions company. With 100,000+ employees serving over 20,000 clients within 15 different industries and across 250+ offices internationally, ABM is one of the largest providers of facility services and solution in the world, with annual revenue totaling over \$7B. They were first named to

the Fortune 500 list in 2016, ranking 485th and as of June 2024, ABM was ranked 466th. Their range of facility services include electrical, lighting, energy, facility engineering, heating, ventilation, air conditioning, mechanical, janitorial services, landscape, grounds, parking, and transportation. ABM's services also include energy efficiency and sustainability solutions.

Link to tenant website: <https://www.abm.com/>



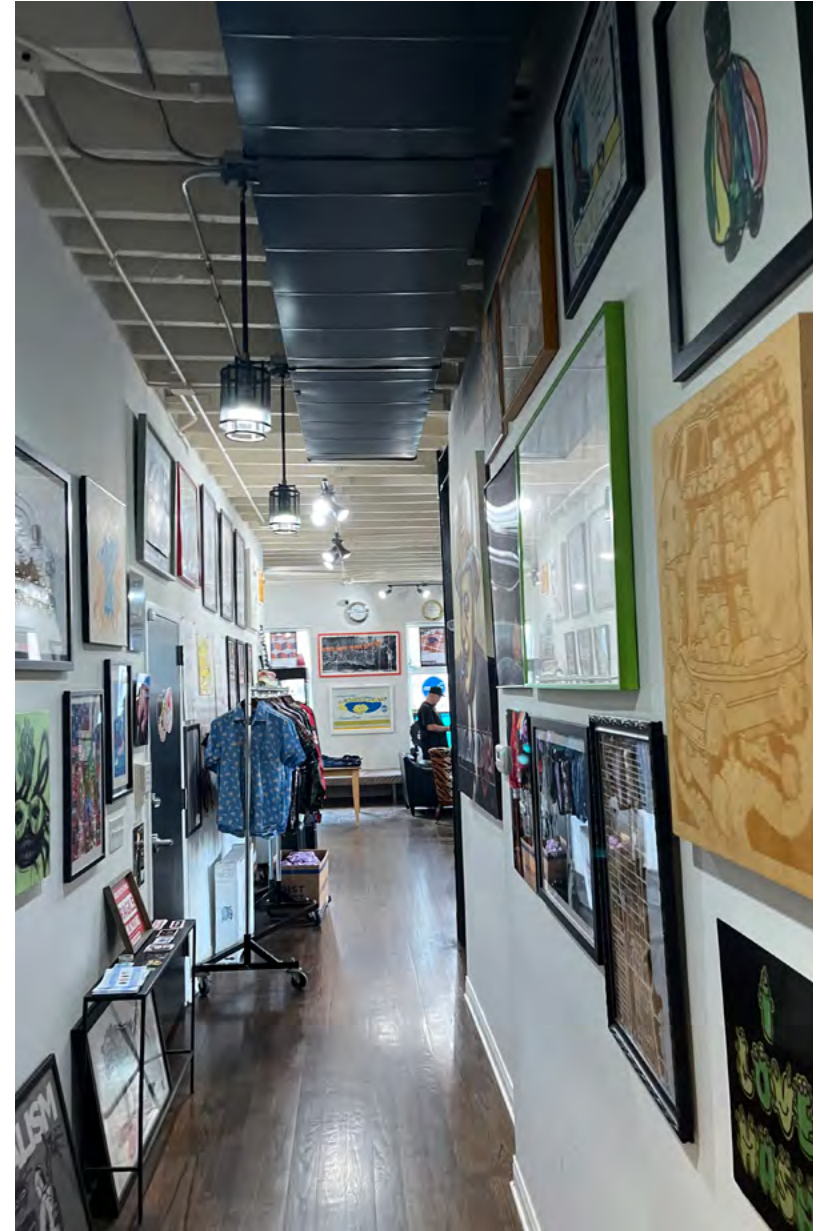


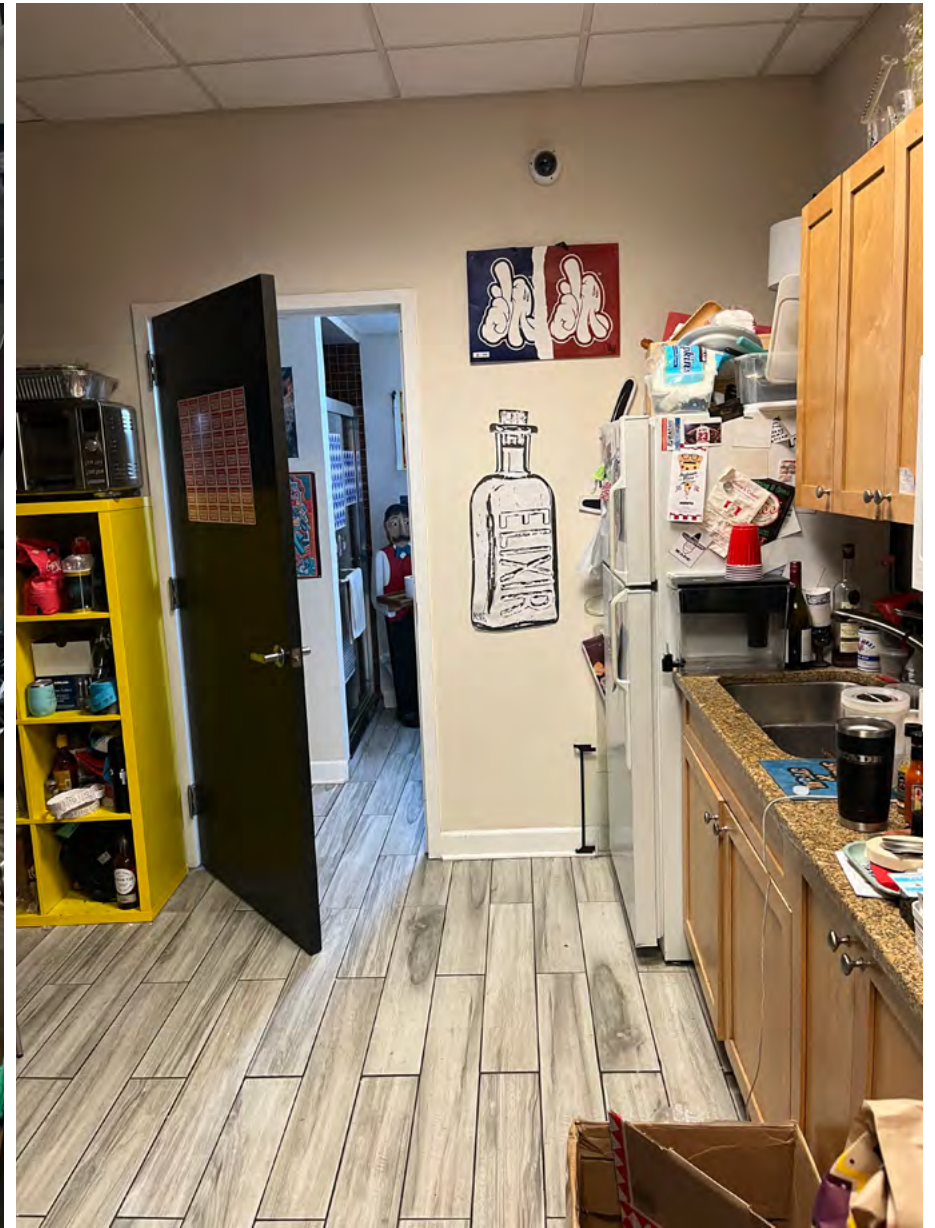


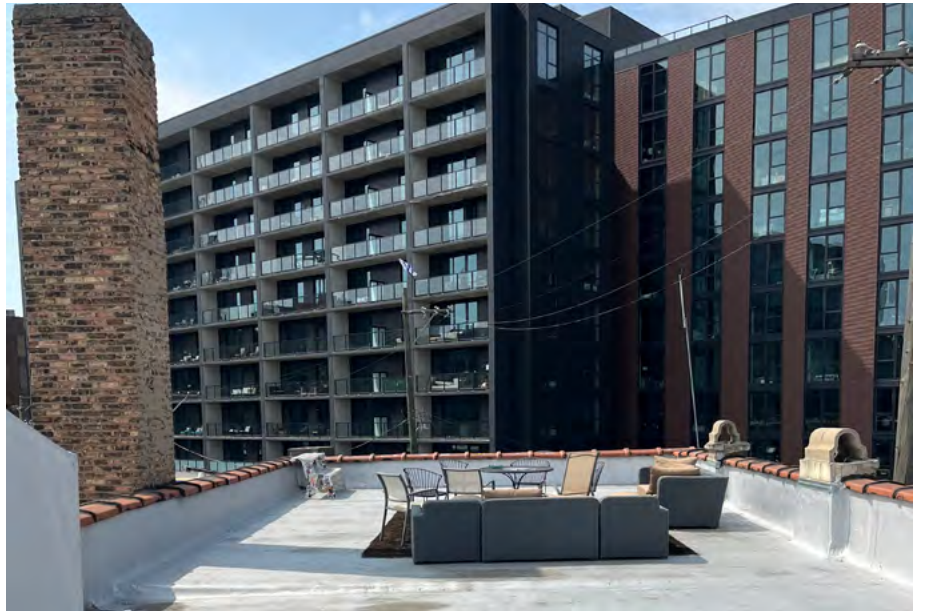


Highlights

- » Flex/industrial/loft-office building
- » Perfect for creative owner-operator
- » Sale Price: Subject to Offer
- » Building Size: Approximately 4,500 SF
- » Lot Size: Approximately 2,550 SF
- » Zoning: PMD-4B
- » 2023 Taxes: \$25,697
- » Open warehouse space and office space throughout building
- » Roof:
 - » Both Upper and Lower roofs are 2.5 years into a 10-year warranty
 - » Rooftop has new storm door access installed
- » First Floor boasts new concrete floors and floor joists, widened opening to garage, and new basement loading doors
- » Second Floor boasts refinished floors, lighting, paint, and new kitchen floors
- » First and Second Floors are fully conditioned
- » Building has had extensive tuckpointing/masonry work on façade, reinforced structural masonry wall in basement and new electric meter box and runs in alley

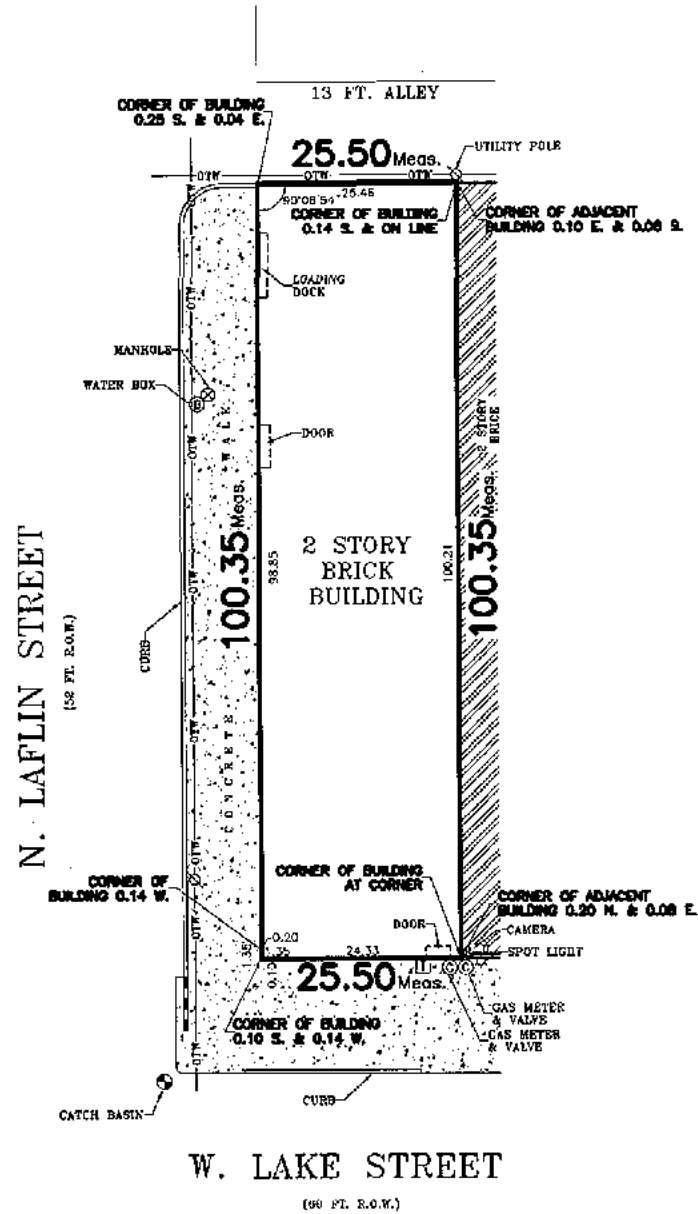








LEGEND	
	INTERCOM
	CATCH BASIN
	SPOT LIGHT
	OVERHEAD TRANSMISSION WIRES
	UTILITY POLE
	GAS METER & VALVE
	DEPRESSED CURB
	SECURITY CAMERA



FULTON MARKET/WEST LOOP DEMOGRAPHICS



473,885

People



238,777

Households



\$110,047

Average Household Income



745,320

Daytime Employees

» Demographics reflect numbers within three mile radius from subject property



Can't beat this West Fulton Market location, these properties are a commuters dream! Located right off the Green/Pink L line, the buildings are just a two-minute walk to the Ashland station and a 15 minute walk west to new Damen/Lake station or east to Morgan station. Portfolio is just steps from the Ashland CTA bus line and a quick drive to both the 90/94 and 290 expressways.

The West Loop and Fulton Market are well known for showcasing the best of the best within the exciting Chicago culinary scene and these properties are located mere steps from everything these two neighborhoods have to offer, including Michelin

Star restaurants Ever, Smyth, and Elske, all three of which are within walking distance. Restaurant Row on Randolph is also nearby featuring popular restaurants Au Cheval, The Publican, and Girl & The Goat.

In addition to its eclectic food and drink scene, the Fulton Market/West Loop area boasts numerous luxury hotels including The Hoxton, Soho House, Nobu, and The Emily. It has also become a major hub for technology companies to plant their flag, attracting the like of Google (Midwest HQ), McDonald's (Global HQ), John Deere, and Dyson.



RESTAURANTS

- | | | |
|-----------------|-----------------------|--------------|
| NEXT | AU CHEVAL | ABA |
| GIRL & THE GOAT | ELSKE | SWIFT & SONS |
| SMYTH | BEATRIX | ROISTER |
| EVER | DUCK DUCK GOAT | ROOH |
| THE PUBLICAN | HIGH FIVE RAMEN | |
| LAJOSIE | GREEN ST SMOKED MEATS | |

RETAIL

- WARBY PARKER
 FREE PEOPLE
 MADEWELL
 PATAGONIA

TECH OFFICES

- GOOGLE (MIDWEST HQ)
 MCDONALD'S (GLOBAL HQ)
 DYSON (UNITED STATES HQ)
 JOHN DEERE

HOTELS

- | | |
|------------|-----------------|
| NOBU | THE EMILY HOTEL |
| SOHO HOUSE | HYATT HOUSE |
| THE HOXTON | CROWNE PLAZA |





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The information provided comes from sources considered to be reliable, but its accuracy or completeness has not been verified for accuracy. This information may not reflect the current or future performance of the property. Subject to your independent review and due diligence.